

DOUGLAS COUNTY, NV

**2018-916703**

RPTT:\$0.00 Rec:\$35.00

\$35.00 Pgs=3

07/13/2018 12:20 PM

ETRCO

KAREN ELLISON, RECORDER

E04

APN# : 1220-16-210-020

RPTT: \$0.00

**Recording Requested By:**

Western Title Company

Escrow No.: 098039-CRF

When Recorded Mail To:

Chelsea Suschena

1521 Saturno Heights Dr.

Reno, NV 89523

Mail Tax Statements to: (deeds only)

Same as Above

I the undersigned hereby affirm that the attached document, including any exhibits, hereby submitted for recording does not contain the social security number of any person or persons.

(Per NRS 239B.030)

Signature \_\_\_\_\_



Colleen Felix / EO

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**Grant, Bargain, and Sale Deed**

This page added to provide additional information required by NRS 111.312  
(additional recording fee applies)

## GRANT, BARGAIN AND SALE DEED

THIS INDENTURE WITNESSETH: That

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Chelsea Suschena, a single woman, as her sole separate property and Adam Richard Suschena, a single man as his sole and separate property

do(es) hereby GRANT(s) BARGAIN SELL and CONVEY to

Chelsea Suschena, a single woman

and to the heirs and assigns of such Grantee forever, all the following real property situated in the City of Gardnerville, County of Douglas State of Nevada bounded and described as follows:

All that certain real property situate in the County of Douglas, State of Nevada, described as follows:

Lot 18 in Block A, as said lot and block are shown on that certain map entitled AMENDED MAP OF RANCHOS ESTATES, filed for record on October 30, 1972, in Book 1072, Page 642, as Document No. 62493.

TOGETHER with all tenements, hereditaments and appurtenances, if any, thereto belonging or appertaining, and any reversions, remainders, rents, issues or profits thereof.

Dated: 07/12/2018

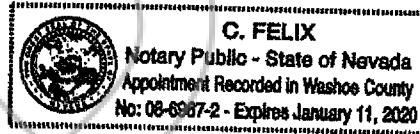
**\*\*THIS DOCUMENT HAS BEEN SIGNED IN COUNTER-PART, BUT IS TO BE RECORDED AS ONE DOCUMENT\*\***

Chelsea Suschena  
Chelsea Suschena  
Adam Richard Suschena  
Adam Richard Suschena

STATE OF Nevada  
COUNTY OF Washoe  
This instrument was acknowledged before me on  
July 12, 2018 by Chelsea Suschena.

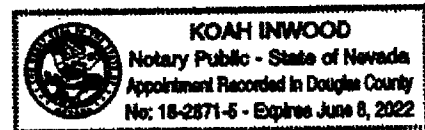
} ss

[Signature]  
Notary Public



STATE OF Nevada  
COUNTY OF Douglas  
This instrument was acknowledged before me on  
July 11, 2018 by Adam Richard Suschena.

[Signature]  
Notary Public



STATE OF NEVADA DECLARATION OF VALUE

1. Assessors Parcel Number(s)  
 a) 1220-16-210-020

2. Type of Property:  
 a)  Vacant Land  
 b)  Single Fam. Res.  
 c)  Condo/Twnhse  
 d)  2-4 Plex  
 e)  Apt. Bldg  
 f)  Comm'l/Ind'l  
 g)  Agricultural  
 h)  Mobile Home  
 i)  Other \_\_\_\_\_

FOR RECORDERS OPTIONAL USE ONLY	
DOCUMENT/INSTRUMENT #:	_____
BOOK _____	PAGE _____
DATE OF RECORDING: _____	
NOTES: _____	

3. Total Value/Sales Price of Property: \$0.00  
 Deed in Lieu of Foreclosure Only (value of property) (  
 Transfer Tax Value: \$0.00  
 Real Property Transfer Tax Due: \$0.00

4. If Exemption Claimed:  
 a. Transfer Tax Exemption per NRS 375.090, Section 4  
 b. Explain Reason for Exemption: *one tenant in common to remaining tenant in common w/out consideration*

5. Partial Interest: Percentage being transferred: 100 %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month.

Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature *Chelsea Suschena* Capacity Grantee  
 Signature \_\_\_\_\_ Capacity \_\_\_\_\_

**SELLER (GRANTOR) INFORMATION (REQUIRED)**  
 Print Name: Chelsea Suschena and Adam Richard  
 Address: 1255 Wonder Ct.  
 City: Gardnerville  
 State: NV Zip: 89460

**BUYER (GRANTEE) INFORMATION (REQUIRED)**  
 Print Name: Chelsea Suschena  
 Address: 1521 Saturno Heights Dr.  
 City: Reno  
 State: NV Zip: 89523

**COMPANY/PERSON REQUESTING RECORDING**  
 (required if not the seller or buyer)  
 Print Name: eTRCo, LLC. On behalf of Western Title Company  
 Address: South Kietzke Branch  
5470 Kietzke Ln., Ste. 230  
 City/State/Zip: Reno, NV 89511

Esc. #: 098039-CRE